

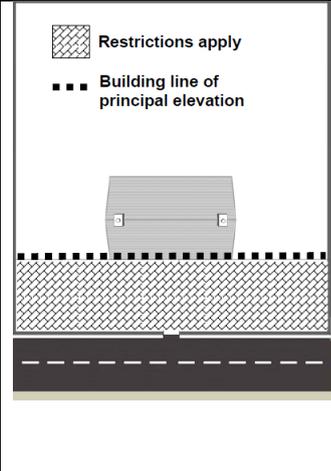
Driveways (including patios, hardstandings and paths)

If you intend to drive a vehicle over the footpath into your driveway, you'll need a dropped kerb and hardstanding. The hard standing must be used for parking only and vehicle repair work is not permitted. For the purpose of this guidance, Ongo Homes will use the term parking pad instead of driveway.

Vehicle crossing:

You will most likely need to build a vehicle crossover (a dropped kerb) so that your car can be driven safely from the road across the pavement and on to your parking pad.

There are no restrictions on laying paths and other areas of hardstanding on land to the rear or side of your house. But there are restrictions on the type of material you can use to cover the land in front of the principal elevation of your house, if it leads onto a highway.

 <p>Restrictions apply</p> <p>Building line of principal elevation</p>	<p>The restrictions are that:</p> <ul style="list-style-type: none">(i) Either the surface must be porous or permeable or(ii) Designed to direct run-off water to a permeable or porous area within the boundary of your home. <p>These restrictions have been put in place due to concerns that certain types of hard surface can contribute towards surface water flooding.</p>
--	--

Ongo Homes specification for a parking pad:

We would expect any request for vehicle parking at the front of the property to meet our own parking pad specification already provided to Ongo Home properties through our investment programme where the criteria has been met for the provision of a parking pad.

You must not keep any motor vehicle in the front garden of your property without a dropped kerb access and an approved hard standing. Vehicles must not protrude over the footpath or boundary. Permission will **only** be granted if a dropped kerb application has been submitted at your own cost and approved by the Highway Authority at North Lincolnshire Council.

If you are making a new access into the garden across the footpath you will need to obtain permission from the local council to drop the kerb(s) and the pavement may need strengthening. This is to protect any services buried in the ground such as water pipes.

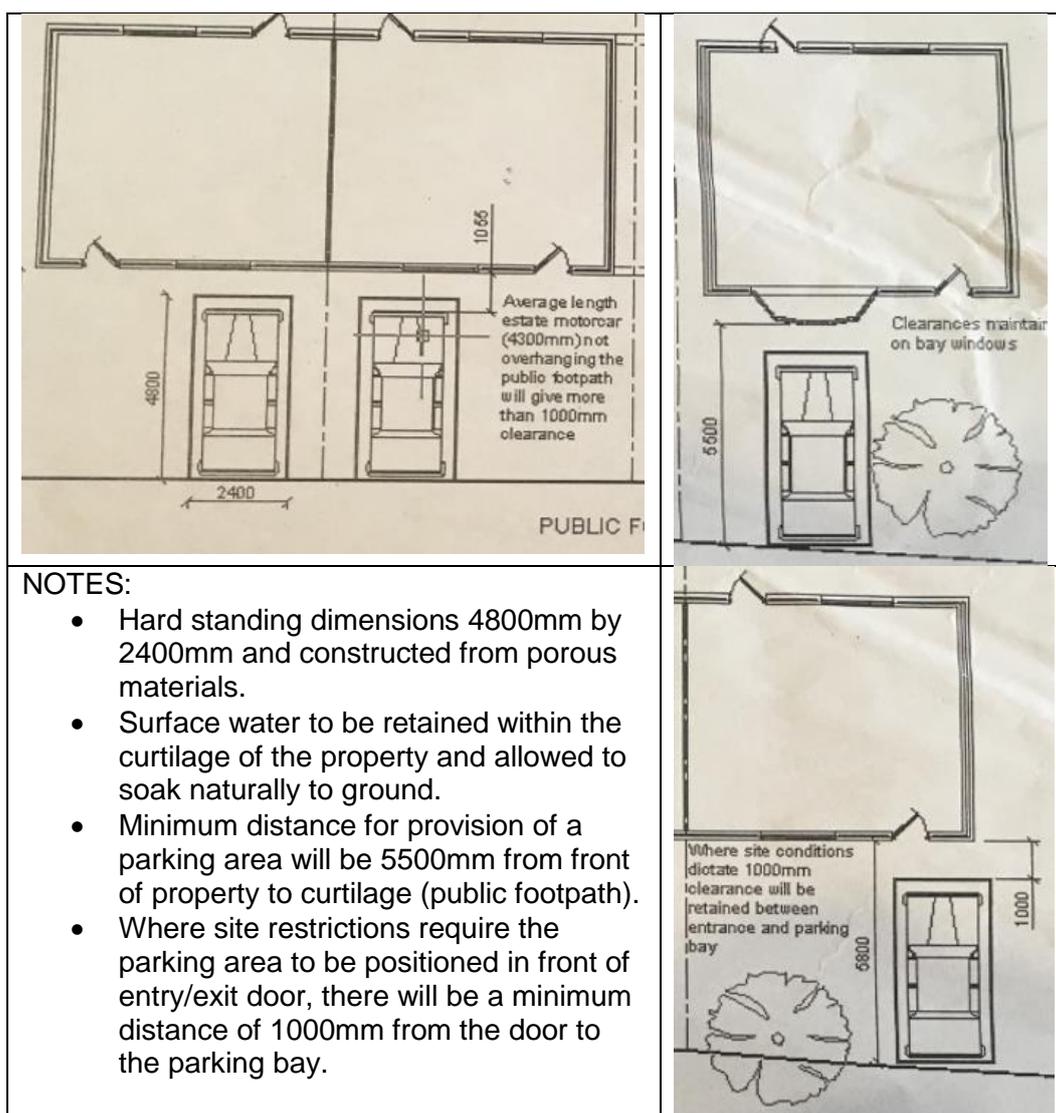
In determining permission, the council will also need to consider any environmental and other factors, such as the presence of trees, green spaces, other obstacles to construction and the impact the application will have on the requirements for on-street parking in the vicinity.

Residents wishing to have a vehicle access crossing constructed are required to apply to the highway authority, which in light of the above considerations, may approve the request with or without modifications; may propose alternative works; or may reject the request. Each case will always be considered on its own merits.

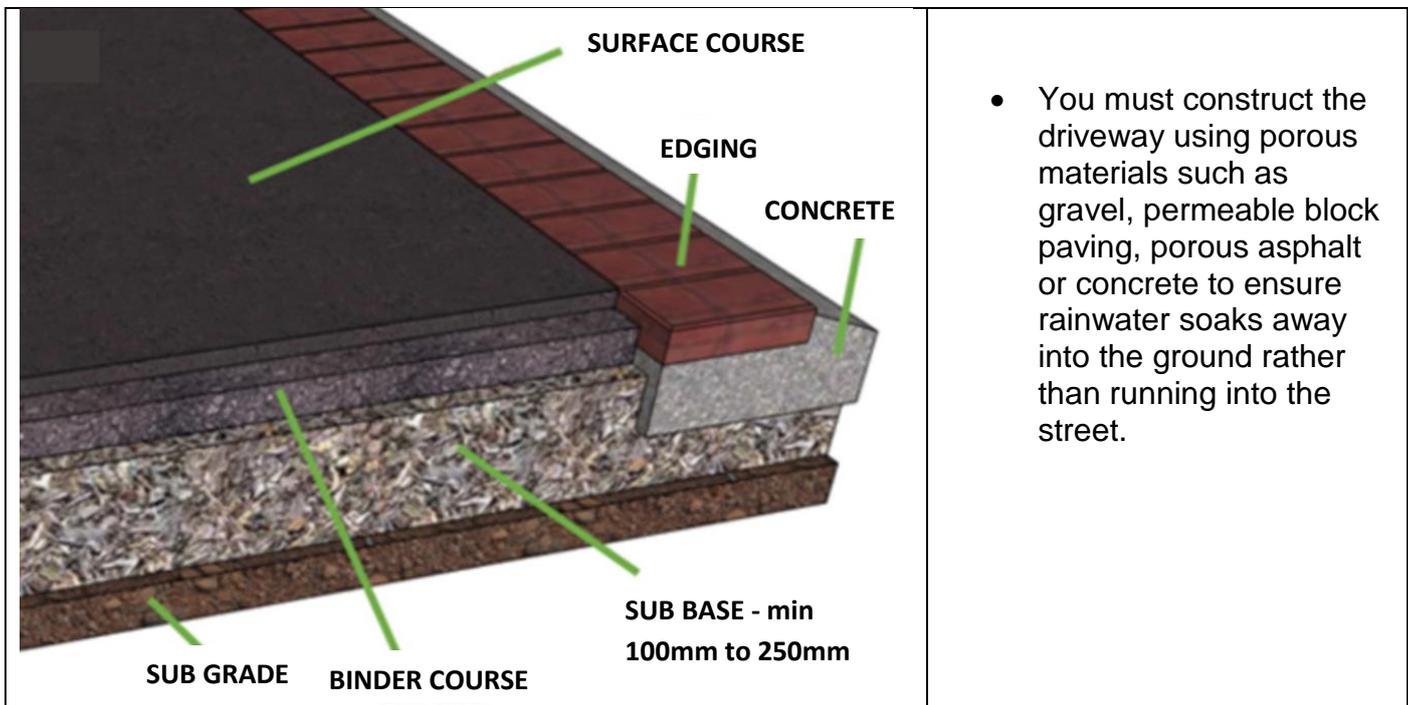
More information relating to North Lincolnshire Council's dropped kerb guidance can be found at: <https://www.northlincs.gov.uk/transport-and-streets/dropped-kerbs-for-vehicle-access/>

Forecourt Dimensions:

There must be sufficient space within the curtilage (enclosed area around front of property) of a site to ensure that a parked vehicle does not overhang the footway, park in front of doorways and that manoeuvring on and off the highway can be done safely. To take account of the increase in size of the average car, the vehicle hard standing within the property frontage must have the following dimensions:



The sub-base is the most important part of any driveway construction. All sub-bases should be installed in thin layers and compacted with a vibrating roller or whacker plate to ensure full compaction throughout the sub-base layer.



- You must construct the driveway using porous materials such as gravel, permeable block paving, porous asphalt or concrete to ensure rainwater soaks away into the ground rather than running into the street.

Vehicle Access Crossing Policy:

Requests for bays to be parallel to the highway will not be accepted. This would require an unacceptable number of vehicle movements over a footway and possibly cause a hazard and nuisance to pedestrians. It will usually be expected that the vehicle will be able to enter and leave a frontage in one manoeuvre.

Second vehicle access crossings:

Normally, to limit any adverse impact on pedestrians using the adjoining footway and to minimise the loss of kerb side parking, only one vehicle access crossing will be permitted per property.

Gates across vehicle entrance:

Gates fitted across the vehicle entrance to a property must in no circumstances open outwards across the footpath or carriageway (Highways Act 1980 - Section 153).

Further information relating to driveways can be sourced from the “interactive house” option on: www.planningportal.gov.uk



Patios (including paving blocks and slabs):

There are no restrictions on laying patios, paths and other areas of hardstanding on land to the rear or side of your house. If you are planning to lay a patio or construct an area within the boundary of the property then the following are requirements which must be adhered to process your application:

- Patio areas should be laid to fall away from any boundary, building or wall.
- If laid next to or near a building, the finished level of the patio should be a minimum of 150mm below the damp proof course of the building.
- There must be a minimum of a 150mm gap between any building and patio. The gap should be filled with gravel to create a French drain.
- Any patio area installed must be free of any potential trip hazards and be a flat, level surface.
- The patio should not obstruct or cover any inspection chamber including any drains or gully services etc. You are responsible for moving the patio if it impedes access for Ongo Homes to carry out essential maintenance to your home. It is also your responsibility to reinstate your patio back to the original location.
- All works should be undertaken by competent and qualified persons and comply with current building regulations.

How to apply:

<p>1) A permission form must be completed. You will need to provide full details of the parking pad, patio/paved area, hardstanding or path work you would like to carry out including a copy of your permission letter to drop the kerb from North Lincolnshire Council if it has been necessary to obtain it.</p>
<p>2) The installation of any parking pad, patio/paved area, hardstanding or path must be carried out by a competent person and confirmation of your chosen contractor details must be provided. A permission form must be completed with information from the chosen contractor including a sketch of the proposed layout, specification of works, method statement, risk assessment and their public liability insurance certificates.</p>
<p>3) Any pictures taken via phone can be emailed if necessary to Enquiries@ongo.co.uk. Please use your first line of address as reference e.g. 'Permission request for 20 Ongo Road'</p>

Guidance for application to install a parking pad, patio/paving, hardstanding or path:

- Drop kerb and licenses to cross the footpath must be sought from North Lincolnshire Council prior to permission being granted. It is recommended to make enquires about costs before application.
- Any Local Authority planning and building regulations must be satisfied and provided upon application.
- The installation of any parking pad, patio/paving, hardstanding or path must be carried out by a competent person along with information described in the 'how to apply' section.
- Front gardens must have adequate space to safely allow for parking; 5.5 meters from the edge of the path to the front of the property as per the Ongo specification shown in the diagrams earlier.
- The parking pad surface has to be made of a 'porous' material, which means it soaks up water (like permeable concrete block paving or porous asphalt). An appropriate sub-base must also be constructed prior to the application of this porous surface being as per the Ongo specification shown in the diagram earlier. Any temporary hard surfacing such as paving slabs are not seen as a suitable material for a driveway.
- Requests for a parking pad to be parallel to the highway will not be accepted. The front of the vehicle to be parked must face the property and only one vehicle access crossing will be permitted per property.
- The asbestos report must be checked to ensure Asbestos Containing Materials' (ACM's) are not being removed or encapsulated. Any removal required will be undertaken by Ongo Homes at your expense.

- Regard should be made to potential impact upon electric, plumbing and drainage.
- All relevant safety compliance certificates must be provided upon completion of the works.
- All debris relating to the works must be removed by the tenant to an appropriate disposal or recycling facility.
- Consideration of applications on party access properties will be made on a case by case basis to minimise potential disruption to other residents.
- No costs in connection with the work to be incurred by Ongo Homes.
- The work must be completed within 3 months of the initial request. Failure to do so will mean you having to apply again for permission.
- Once completed Ongo Homes will inspect the completed work and if the work is not completed to an appropriate standard may recharge to complete any remedial work required.
- Upon approval of works, Ongo Homes will accept future responsibility for the maintenance of the alteration, but will only maintain with our standard stock.
- Any alterations must remain in place upon vacation of the property.

Retrospective Permission:

If at any time it becomes clear that a parking pad, hardstanding or path has been erected without permission, then the tenant will be contacted and retrospective permission will be granted provided that the necessary paperwork is completed and returned confirming that all of the above conditions have been met. We may ask you to remove, put back or make good any area we have not approved and/or which does not meet our standards.

Frequently asked Questions:

The area from the front of my property to curtilage (public footpath) measures less than 5.5 metres. Can I still apply for a parking pad?

We would not allow for a parking pad to be constructed with dimensions less than the forecourt dimensions shown earlier. A property must have at least 5.5 metres from the edge of the path at the front of the property to the curtilage to allow parking. This is for good practice, health and safety and highways guidance. There must also be a vehicle crossover (dropped kerb) in addition to the above.

I already have a parking pad provided by Ongo Homes. Can I remove the fence at the front of the property and lay slabs to the side of this pad in order to park another vehicle?

Ongo Homes has provided an adequate parking bay with street access along with a dropped kerb through the investment programme and will not allow any alterations to the work it has carried out which includes the land and bay itself along with any boundary walls or fencing in place. In addition to this, we would only allow one vehicle to be parked on the one parking pad provided.

A family member has a disability and the parking pad provided by Ongo Homes would need to be extended to allow for more room to safely enter and exit the vehicle. Am I able to extend the parking pad due to this?

We would ask you to make a request via the DFG (Disabled Facilities Grant) route, rather than this Alteration Permission route. Your first point of call would be for a referral to be made to see an Occupational Therapist (OT). The OT would arrange an assessment for this family member to see what disabled improvements are needed on a case by case basis and will make recommendations for any adaptation work to your home after contacting Ongo Homes on your behalf while also working with the Home Assistance Team at North Lincolnshire Council.

If it is found that you will need to self-fund this alteration then you are able to send this OT assessment or letter of support to Ongo Homes as proof that this extended drive is required along with a request to look at this proposal via our Aids and Adaptations process.

Can I park my vehicle on communal/amenity land in front of the property I live?

Under no circumstances can a vehicle be parked on amenity land which is defined as amenity space and is maintained by Ongo Homes Ltd. We do not allow vehicles to be parked on this grassed area. For any further information on amenity space/land please contact Ongo Homes.