



Guidance for renewing Fencing, Walls and Gates

Fencing, Walls and Gates between houses is a tenant's responsibility. If you have trees/hedges forming your boundary, please don't let the trees/hedges get out of hand before you prune.

If you have children and/or pets you are responsible for providing adequate fencing to keep them safe. If you live in a flat, any fences between individual gardens are the responsibility of the tenants and leaseholders affected.

If your fence (including hedge and/or tree) needs replacing, you must get our permission in writing before replacing or erecting new fencing. Such cases are dealt with on a case-by-case basis and permission will depend on the individual circumstances and location of the fences.

Treating Fencing:

Regardless of who is responsible for the fence, a resident may treat it with a stain or wood preserver in a natural colour (i.e. shades of brown or green). Household paint is not a suitable fence treatment.

Neighbours:

We would always advise you to discuss your plans with the neighbour affected before removing or putting up any fencing or hedges. This will help avoid a dispute later.

The erection of a new boundary fence or wall or replacement of an existing wall or fence can unfortunately sometimes give rise to concern from an adjoining neighbour and become a source of bad feeling. Please keep your neighbours informed of when any fencing work is likely to take place and how long it will take as this could impact on how they use their garden during this time.

It is advisable that you speak with the adjoining owner/tenant to advise of any works you intend to carry out at an early stage including treating fences in order to minimise any potential disputes that could arise. Please ensure that your neighbours have no objection before you apply for permission. We may contact them for confirmation.

Who is responsible for my fence?

If your fence divides an individual Ongo property from a private owner or another Ongo property, then you must speak to your neighbour to establish ownership.	If the dividing fence belongs to the private owner or other Ongo tenant, then it is their responsibility to repair it.	If the dividing fence belongs to you, then it is your responsibility to repair it.
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In all cases you will need to send in a drawing showing the section to replace.

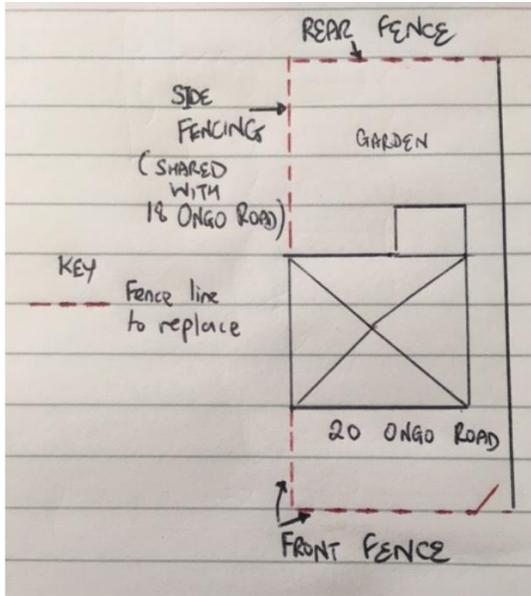
When Is Planning Permission Required?

You will be required to apply for planning permission if you wish to apply to erect, add or alter a fence, wall or gate if:	1) The proposed fence, gate or wall would be over 1 metre high and next to a highway used by vehicles (or the footpath of such a highway covering the front of property).
	2) Or the new fence, gate or wall is over 2 metres high elsewhere

How to apply:

You will need to provide full details of the fencing work you would like to carry out including a copy of your Planning Permission if it has been necessary to obtain it.

****Please note – We do not allow communal/amenity land to be fenced off****

1) A permission form must be completed indicating whether you are replacing an existing fence line (old for new) or erecting a new fence line (where no fence or wall had previously existed).	
2) A sketch must be submitted giving dimensions of the proposed fence, indicating its position in the garden and distance from the house, boundaries, other structures and any manhole covers. Please provide as much supporting information as possible to help us process your application quickly:	<ul style="list-style-type: none"> Please describe where you wish to erect the fencing (Front, Rear, Side) 
	<ul style="list-style-type: none"> We need to know size of fence panel and quantity, size and quantity of concrete/wooden posts and if any gravel boards etc. Height** Maximum permitted height is 1m (3'3") in front of the building and 1.8m (6') to the rear.
	<ul style="list-style-type: none"> Please provide length of fencing.

3) We require this work to be carried out by a qualified trade person or a competent person. Please confirm on permission form who will carry this work out.

4) Any pictures taken via phone can be emailed if necessary to Enquiries@ongo.co.uk. Please use your first line of address as reference e.g. 'Permission request for 20 Ongo Road'

Gates in communal areas

Should you propose to erect a gate across a communal footpath you must first obtain the consent of all the owners with a right to use the communal footpath. In addition, the closing mechanism must be located at a height of 1.00m and no locks will be permitted.

The closing mechanism must be a ring gate latch if the height of the gate exceeds 1.10m in height. For gates with a height of less than 1.10m, the closing mechanism to be used must be garden gate latch. Unrestricted access must be provided to all those with a right to use the footpath at all times.

Guidance for application to erect fences, walls and gates

- The standard of workmanship must be to the satisfaction of Ongo Homes and carried out by qualified and competent trade person. A permission form must be completed including a sketch of the proposed layout and written method statement.
- The asbestos report must be checked to ensure Asbestos Containing Materials' (ACM's) are not being removed or encapsulated. Any removal required will be undertaken by Ongo Homes at your expense.
- Planning and building regulations imposed by the local authority are satisfied prior to application and this is evidenced within the application.
- The fence must be constructed from new materials and not from reclaimed pallets.
- Regard should be made to potential impact upon electric, plumbing and drainage.
- The fence/wall/gate must not encroach the neighbouring boundaries.
- Agreement from neighbours must be sought prior to application and evidenced within the application.
- Any front fencing must be maintained by yourselves and must not exceed 1m in height at any point. Any rear fencing must be maintained by yourselves and must not exceed 1.8m in height at any point. Ongo Homes will not be responsible for the future maintenance of the alterations.
- All debris relating to the works must be removed by the tenant to an appropriate disposal or recycling facility.
- No costs in connection with the work to be incurred by Ongo Homes.
- The work must be completed within 3 months of the initial request. Failure to do so will mean you having to apply again for permission.
- Once completed Ongo Homes may inspect the completed work and if the work is not completed to an appropriate standard may recharge to complete any remedial work required.
- Should any nuisance or annoyance be caused to neighbours by the fence, Ongo Homes reserves the right to require its immediate removal.

- Sufficient anchorage must be provided to prevent the fence damaging any property through the structure's instability. Should any damage be caused to any property managed by Ongo Homes as a result of the presence of the structure, you will be held liable for paying for the cost of remedying the damage.
- Permission is limited to the works specified in the initial request.

Retrospective Permission:

If at any time it becomes clear that a fence, wall or gate has been erected without permission, then the tenant will be contacted and retrospective permission will be granted provided that the necessary paperwork is completed and returned confirming that all of the above conditions have been met.

We may ask you to remove, put back or make good any fences, walls or gates we have not approved and/or which does not meet our standards.

Frequently asked Questions:

I live in a property consisting of 2 flats (ground floor and first floor). My neighbour and I share a garden. Can I fence off my section of the garden?

Please speak to your Housing Officer first to confirm if you have your own section of the garden and if you are able to apply for permission to fence this off as in some cases this would not be possible.

I would like to fence off a section of amenity (communal) land for my own use. Am I able to do this?

We do not allow fences to be erected on land which is defined and treated as amenity land around your property and neighbouring properties as this land is maintained as such by Ongo Homes. The amenity space has no definitive boundary lines and will be left as open space for appropriate access and use by all tenants and contractors.

My neighbour and I have a shared driveway. I would like to fence down the middle so we no longer have a shared driveway. Am I able to do this?

We would not grant permission for this as a shared driveway would need to remain in place. Additionally, this may also be defined legally where the neighbour is a private owner. If fencing has already been erected in any area of a shared driveway, this will need to be removed and the area reinstated.

I would like to remove trees/hedges on my boundary line and would like to replace these with a fence. Am I able to do this?

When the ability to erect a fence is obstructed by existing feature like hedges or trees, you must consult Ongo Homes regarding the type of tree or hedge that is the problem before applying for permission as there may be a preservation order on the hedge/tree which will determine if they can be removed.