

Electric Vehicle Charger (Home Charging Station)

*****At the end of your tenancy the EV charger along with the units associated cabling and electrical equipment must be left at the property to be used by the next tenant*****

If you have bought or are thinking about buying an electric vehicle, then you may want to have a charging point at home (EV charger). You would always have a charging point available ensuring each time you drive away, you leave with a full battery.

Ongo Homes will be able to grant permission if the following two conditions are met:

- 1) Property either has a new Ongo parking pad (provided via our investment programme) or a driveway approved by Ongo Homes before investment programme was delivered.
- 2) The EV charger must be installed by a government approved OZEV installer.

Off street parking:

You must have designated, off-street parking where a charging cable will not cross either a pedestrian pavement or an area over which other nearby residents have a right of way.

We would expect any vehicle parking at the front of the property to meet our own parking pad specification already provided to Ongo Home properties through our investment programme where the criteria has been met for the provision of a parking pad. For more information please see our Guidance for Driveways document.



Ongo Homes Parking Pad (current specification)



Example of a driveway approved by Ongo Homes **before** the Parking Pads Investment 78412Programme

Approved Installer:

As the installation of a charging point involves high voltage and high power, the installation must only be completed by a qualified and certified professional.

You need to use an OZEV approved installer. Apart from advising you on the permissions you need to seek, they will also assess whether it's safe to have an Electrical Vehicle Charging Point in that home, and if so, where to place it to guarantee maximum benefits.

A list of authorised installers can be found at: <https://www.gov.uk/government/publications/electric-vehicle-homecharge-scheme-authorised-installers>

An install will usually include a home consultation visit in order to assess the suitability and ensure you meet the criteria for the home charging grant should you wish to apply for this. Guidance relating to the Electric Vehicle Homecharge Scheme can be found at:

<https://www.gov.uk/government/publications/customer-guidance-electric-vehicle-homecharge-scheme/electric-vehicle-homecharge-scheme-guidance-for-customers>

Before installation, the installers will need to consider a few factors to help them determine whether it's possible to install an EVCP in that property. They include:

<ul style="list-style-type: none">• Whether you need to seek permission before installing the charging point.
<ul style="list-style-type: none">• If it's safe to have EV included in the normal electricity demands of that property.
<ul style="list-style-type: none">• Whether there's a suitable place in the property to locate the charging point as well as the vehicle when it's charging.

Charging the EV will typically cause your electricity demands to rise significantly. Therefore it is important to check whether the present electric cabling, primary household supply, and sockets can sufficiently carry the additional current the car will require when charging.

Checking the cabling will also involve assessing the number of safety cut-outs that are present. Fire is likely to occur if the electrical installation in a property becomes overloaded. An electrician qualified in EVSE (EV supply equipment) will need to ascertain whether the existing electrical supply can adequately handle the existing load while also charging an EV.

Moreover, the installer will also need to inform the District Network Operator about the installation of an EV charging point in the area. If the property owner wants to have a second charge point installed, the installer will need to communicate the same.

When choosing a charging station for your home, you will need to take into account various factors, such as the type of car and where the EV charger will be located.

How to apply:

<p>1) An alteration permission form must be completed and available by contacting our Customer Service Team.</p>	
<p>2) We can only give permission for a home EV charger where the property has its own parking area which has been provided and approved by Ongo Homes.</p>	
<p>3) The installation of any EV charger must be carried out by a government approved OZEV installer and confirmation of your chosen contractor details must be provided. A permission form must be completed with information from the chosen contractor as shown:</p> <p>*We may request a risk assessment and a method statement from your chosen contractor but will contact you if this is the case*</p>	<ul style="list-style-type: none">• Please provide a quote on letter headed paper with details of the contractor. Quote must include a plan/layout of the current area (where work is to be carried out) and the proposed location of this EV charger including the make and model.• Quote from the contractor must also include a full description of the proposed work, materials to be used and how the works will be carried out.• The contractor must have Public and Employers Liability Insurance. There may be a need for you to provide insurance details/documents for your contractor. We will contact you if this is the case.• Details of any warranty period on the work once completed should you encounter any problems once EV charger has been installed/fitted.
<p>4) Any pictures taken via phone can be emailed if necessary to Enquiries@ongo.co.uk. Please use your first line of address as reference e.g. 'Permission request for 20 Ongo Road'</p>	

Guidance for application to install a home EV charger:

- The asbestos report must be checked to ensure Asbestos Containing Materials' (ACM's) are not being removed or encapsulated. Any removal required will be undertaken by Ongo Homes at your expense.
- Regard should be made to potential impact upon electric, plumbing and drainage.
- All aspects of the work that were submitted must be carried out by fully qualified electricians who are OZEV (formally known as OLEV) approved installers. Apart from advising you on the permissions you need to seek, they will also assess whether it's safe to have an Electrical vehicle charging point (EVCP) in your home, and if so, where to place it to guarantee maximum benefits.
- The standard of workmanship must be to the satisfaction of Ongo Homes Limited and must be carried out by a qualified electrician to BS 7671 and other relevant standards. You will be provided with an electrical certificate for your EV charger installation to show that it has been safely installed to the latest electrical regulations. This will need to be sent to Ongo Homes Ltd once the work is complete.
- If we do not receive this electrical certificate once this work has been completed, then we will instruct our electricians to carry out an inspection on the work you have carried out and you will be recharged for this inspection and test.
- The unit must be securely fixed on an external wall close to the parking pad and adequate care must be taken to ensure that the internal and the fabric of the building (external brickwork/cladding) is not damaged or altered. If damage occurs then this must be repaired at your cost. If fitting to External Wall Insulation (EWI) please see guidance towards end of this document for information relating to the use of fixtures and fittings.
- The EV charger must not exceed the limitations of the existing electrical installation and consumer unit. Any changes to the electrical equipment/wiring that need to be made prior to the installation EV charger to be installed will be made at your expense.
- The EV charger (including any additional electrical cabling and additional consumer unit if fitted) once installed will become part of the electrical installations of the property and as a result will be maintained and tested by us as necessary to comply with regulations from time to time in force. If any deliberate or malicious damage is caused to the EV charger by you or occupiers/visitors to the property, we will recharge you for the costs of any repair.
- At the end of your tenancy the EV charger along with the units associated cabling and electrical equipment must be left at the property to be used by the next tenant. You are not entitled to take any part of it with you and neither will we compensate you for leaving it at the property.
- No costs in connection with the installation work will be paid or contributed to by Ongo Homes Limited.

- The work must be completed and all necessary compliance certificates provided to us within 3 months of us giving permission. Failure to do so will mean you having to apply again for permission.
- Work must be carried out in a manner to ensure minimum disruption to your neighbours.
- All debris resulting from the alteration must be disposed of in an appropriate manner.
- Permission is limited to the works specified in the permission granted by us.

Retrospective Permission:

If at any time it becomes clear that a home EV charger has been installed without permission, then the tenant will be contacted and you will be required to make an application for retrospective permission. You will be required to complete all the necessary paperwork and provide all certificates required by us to enable us to decide whether retrospective permission should be given. We may ask you to remove, reinstate and make good any work which we have not approved and/or does not meet OZEV standards.

Frequently asked Questions:

I have just purchased an electrical vehicle (EV) and would like a home charging unit. Will you grant me permission?

Ongo Homes ask that our Customer Service Team is contacted at the earliest opportunity to make enquiries before you commit to purchasing an EV. Permission can only be granted once all the conditions stated in this guidance document are satisfied. We will not accept liability for any loss or misunderstanding which may occur if permission is refused for an EV charging unit.

You have granted me permission to install a home EV charger. Why can't I take this with me when I end my tenancy?

Permission is granted on the condition that at the end of your tenancy the EV charger along with the units associated cabling and electrical equipment must be left at the property to be used by the next tenant. Once the EV has been installed, it becomes part of the electrical wiring of the property for which Ongo Homes would be responsible. This EV unit should not be removed either during or at the end of your tenancy.

I live in a house where Ongo Homes have not provided a parking pad and my front boundary is made up of a fence and gate. Can I still have an EV charger?

We will refuse permission here as a property (whether it be a terraced house, semi-detached house, bungalow or flat) should have its own Ongo approved off-street parking area. Please see the 'Guidance for Driveways' document for more information on parking pads.

I have had a home consultation visit from an approved OZEV installer who pointed out that I may require an additional consumer unit. Will Ongo Homes pay for this and undertake this work?

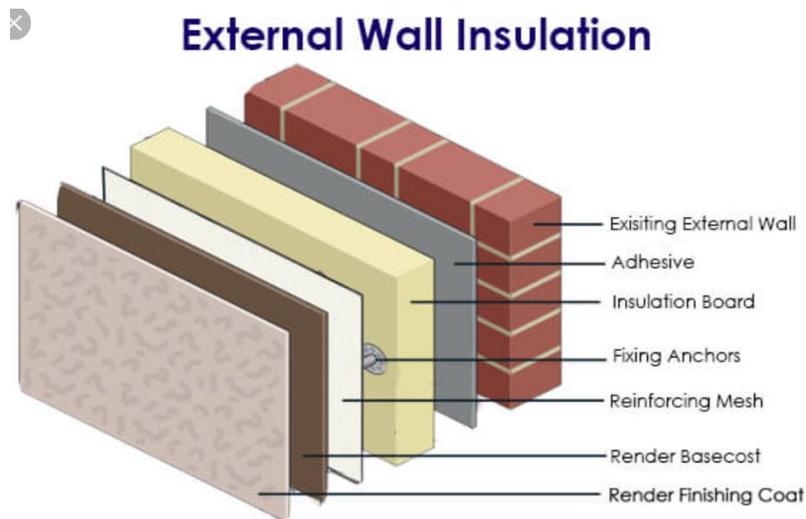
Any work required to the electrical installation (including any additional electrical cabling and additional consumer unit if required) in preparation for this EV charger will be at your cost and you will be required to employ an electrician.

I live in a flat within a communal block. Do you have any plans to provide public EV charging points in any of your communal block areas?

The future provision of EV charging in public space and highway areas will become a developed initiative and strategy from several stakeholders. For instance, this may include Ongo Homes, North Lincolnshire Council and other bodies which may result in public EV chargers being installed in some of our communal parking areas.

Guidance for Fixtures & Fittings for External Wall Insulation (EWI)

If after the work has been completed you wish to add fixtures and fittings, such as satellite dishes, gate posts, hanging baskets, lights etc. to the outside of your property, you must make sure that the correct fixings are applied and are long enough to pass through to the original wall.



Suitable fixings are available from any regular building merchant and it's recommended that the insulation fixings should be at least 110mm long to ensure they go through the insulation to the brickwork.

The 10mm holes are drilled first. The fixing is then fitted with a length of metal tube that is the same length as the gap between the cladding and the old wall (cut to size using a hacksaw) and then a wall plug screwed on the end hand tight. The whole thing is pushed in and tightened up and because of the metal tube there is no damage to the cladding. If unsure ask, as the building merchant will be able to advise on suitable fixtures available for the specific item – so long as you mention you have EWI!

- Care should be taken not to compress the system as this could affect the performance and security of the item being fixed. Fixtures must be anchored back to the original wall and not the EWI system.
- Percussion drilling must not be used as there is a risk of snagging the mesh layer.
- Mastic sealant should be used to prevent water entering the system around any fixings.

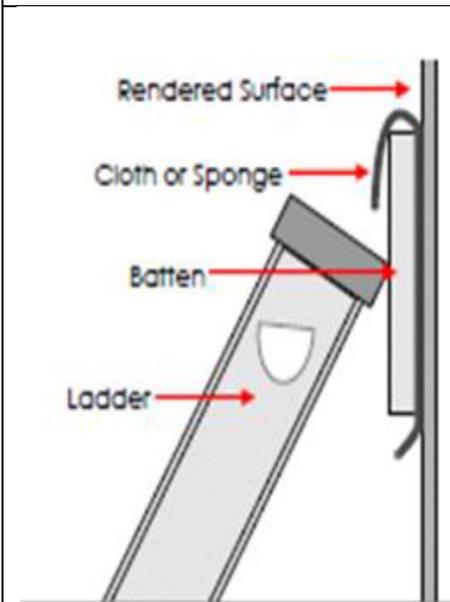
Tenants and Tradesmen should ensure the right fixings are used before starting any work which may affect the render.

Example of Insulation Fixings (110mm) holds up to 5kg of weight per fixing



Mastic sealant should be applied around the fixture to prevent water entering the insulation system.

USE OF LADDERS



All rendered wall surfaces can be permanently damaged by the careless use of ladders. Even ladders with protected ends can remove the render or mark the surface. To avoid problems please ensure you:-

- Spread the load on the surface with a batten wrapped in cloth or sponge.
- Do not drag the ladder over the surface when moving.